



Urban Design Guidelines

Kitchener, Ontario

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APPROVED

City of Kitchener
Planning Div.

Sig. *[Signature]* Date *April 18/19*



Contents

Introduction.....1

 Community Vision for Wallaceton1

Community Streetscapes1

 Guidelines for Visual Variety, Model, and Colour.....1

Design Objectives for New Residential Architecture at Wallaceton.....3

 Priority Lots3

 Corner Lots4

 Terminating Vista Lots.....5

 Gateway Lots5

 Park Space and Green Space Lots5

 Window Street Lots.....5

 Natural Heritage Lots6

Architectural Styles6

Roofscapes6

Windows as Design Elements.....6

Materials and Colours7

Porches and Entry Elements.....7

The Architectural Integration of Garages.....8

Utilities and Mechanical Equipment8

Fencing8

Privately Administered Design Control9

 Step One – Project Introduction9

 Step Two – Submission of Preliminary Design9

 Step Three – Preliminary Approval10

 Step Four – Final Design Approval10

 Step Five – Siting Approval.....10

Other Builder Responsibilities.....10

Introduction

Section 1

These urban design guidelines have been prepared to guide the design and development of Wallace-ton and to create an inviting, healthy and sustainable urban environment that encourages pedestrian and recreational activities.

Functionally, these design guidelines have been prepared to address the developer's desire for a high level of design in all aspects of the community.

Builders building in Wallace-ton should be aware that all designs for all houses on all lots will be subject to the privately administered design control process described in Section 4.

Privately Administered Design Control. The requirements of this privately administered system must be met for each lot before any building permit applications can be made to the City of Kitchener.

Compliance with the privately administered design control process can not be construed at anytime as a substitute for approval from any municipal approval process.

Community Vision for Wallace-ton

Section 1.1

Wallace-ton is envisioned as a safe, comfortable residential environment composed of quiet, tree-lined streets organized as a master-planned single community, integrated into the evolving fabric of the overall Huron South Community. The Wallace-ton neighbourhood is integrated to the west and north with the Wildflowers Subdivision, to the Huron Village subdivision to the immediate north and Huron Woods subdivision to the immediate east, to the district level City of Kitchener recreation lands to the west and, significantly, serving as an important gateway into the City of Kitchener as you arrive from the south (401). The comprehensive design for Wallace-ton places great importance on the:

- Structure and organization of the plan;
- Creation and preservation of views and vistas;
- Quality of its streetscapes and gateway elements;
- Design of its thematically related architecture.
- Commemoration of Plains Road as well as recognition of the historical significance of Huron Road (federally designated as Heritage Highway)
- Preservation and visual integration of a Victorian Gothic style heritage farm house; and
- Design of parks, pedestrian and open space linkages;

To achieve this goal, the plan for Wallace-ton will utilize an integrated approach to urban design. Urban design can be thought of as the organization of public and private space through the management and integration of all components of the built environment including architecture, landscape design and engineering. Urban design helps to smoothly integrate the various elements of design, bridging the conceptual gap between the three-dimensional design of buildings and the apparently two dimensional priorities of land use planning. This integrated approach to design issues helps to create visually attractive and functional neighbourhoods and communities.

Community Streetscapes

Section 2.1

Streetscapes are visually and structurally a combination of a diverse collection of elements including the dimensions of the right-of-way, the design and placement of architecture, landscape elements, street furniture, lighting, and signage. The following sections provide guidance regarding two specific aspects of streetscape design in Wallace-ton.

Guidelines for Visual Variety, Model, and Colour

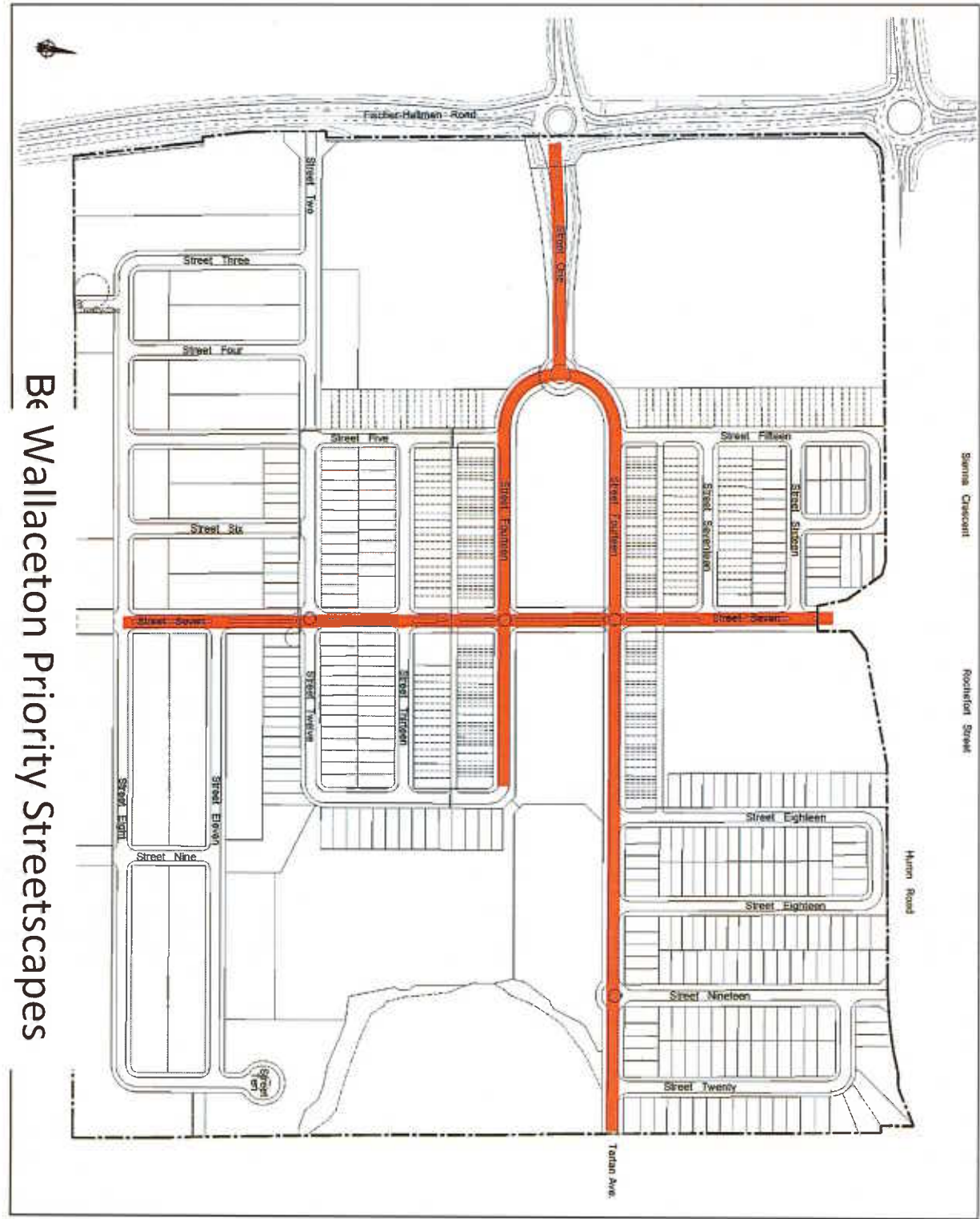
Section 2.2

In order to provide visual variety in streetscapes, variations in the design of any one house model type shall be required. A wide variety of model types and alternate elevations are required to meet the following guidelines that apply to all streets within Wallace-ton:

- a) The same house elevation shall be separated by a minimum of four other houses;
- b) In a continuous streetscape, a single house elevation may account for only twenty percent of the streetscape, per side;

- c) Alternative house elevations for a house model should be significantly different in terms of entry elements, massing, roof design and fenestration;
- d) Houses with identical colour schemes shall be separated by a minimum of four houses between the houses in question;
- e) Where possible, there should be a coordinated and complementary variation of house set backs along streets.

The Identification of priority streets, their landscaping and fencing is of particular importance to the City of Kitchener. Figure 1 Priority Streetscapes Identifies priority streets in Wallaceton. For details regarding the nature and location of landscaping and fencing, please refer to the Master Streetscape Plan prepared for Wallaceton by GSP. General design guidelines regarding the developer’s preferred designs



Bc Wallaceton Priority Streetscapes

Figure 1 Priority Streetscapes

for wood fencing, wherever it may occur within Wallace-ton, can be found in Section 3.9 - Wooden Fencing Designs.

Design Objectives for New Residential Architecture at Wallace-ton

Section 3

The following design guidelines are intended to assist in assuring that the design of all housing within Wallace-ton individually and collectively supports the evolution of a distinctive character and sense of place, such as:

- a) The individual and collective design and siting of houses shall encourage visual variety in streetscapes and the development of attractive pedestrian environments;
- b) The individual and collective design of houses shall support a sense of scale that is visually appropriate to the scale of the streetscape and its landscaping;
- c) The design of houses shall encourage a sense of integration between the house and the streetscape through the inclusion and stylistically appropriate articulation of such elements as roof massing, front porches and fenestration;
- d) The design for houses will emphasize the presence and massing of the habitable portions of houses and front porches while deemphasizing the visual presence of garages;
- e) The individual and collective design of houses shall help to establish the distinct character of Wallace-ton.

These urban design guidelines have been prepared to provide guidance for the design of all houses on all lots in Wallace-ton. Design guidelines for new houses have been structured under the following headings:

- Priority Lots
- Architectural Styles
- Roofscapes
- Windows as Design Elements
- Materials and Colours
- Porches and Entry Elements
- The Architectural Integration of Garages
- Utilities and Mechanical Equipment
- Fencing

Priority Lots

Section 3.1

The Draft Plan of Subdivision for Wallace-ton identifies specific lots as priority lots. The City of Kitchener has a stated interest in the quality of the design and landscaping of houses located on these priority lots. For the specific location of these priority lots by type, please refer to Figure 2 - Priority Lot Plan. The following sections provide guidelines that identify the appropriate design responses for each of these priority lot types. Design guidelines for priority lots are to be read in conjunction with the design objectives for new residential architecture and are to have regard for all of the design guidelines for new residential architecture contained in the subsections of Section 3.

In general, the term priority lot refers to all lots that are highly visible to the public and may form visual focal points within streetscapes. Within the plan for Wallace-ton, these visually prominent types have been identified as:

- Corner Lots
- Terminating Vista Lots
- Gateway Lots
- Park Space Lots
- Window Street Lots
- Natural Heritage Lots

The design of these priority lots will be reviewed through the privately administered design review process before applying for building permits. For the locations of these priority lots by type, please refer to Figure 2 - Priority Lotting Plan.

Additionally, homes to be built in the future Heritage Area will be subject to additional review processes through the site plan process with the City of Kitchener. The existing Becker Heritage House will inform and influence development in this area.



Figure 2 Priority Lotting Plan

Section 3.1.1

By their very nature, corner lots are generally highly visible to the public. Houses on most corner lots generally have front, flanking, and rear elevations that are clearly exposed to public view. These exposed elevations, in these visually prominent locations, provide opportunities for design of architecture and landscaping which will add to the overall positive image of the community. Well-designed corner lots create local visual focal points and encourage visual variety in streetscapes. The following guidelines are intended to promote the design potential for these lots:

- a) On corner lots, exposed flankage and rear elevations will receive the same level of design attention and detail as front elevations regarding such elements as massing, proportions, materials, colours and fenestration;
- b) To support the visual prominence of these locations traditional architectural elements such as wrap-around porches are encouraged;
- c) Where possible, houses on corner lots shall provide doors onto both streets; and
- d) Special care should be taken in the selection of the combination of house designs that are sited on opposing corners to ensure that they are visually compatible.

Terminating Vista Lots

Section 3.1.2

Houses located at the terminus of vista, like houses located on corner lots, are highly visible to the public and provide important opportunities to create visual focal points in the streetscape. The following guidelines are intended to assist in the design of houses located on these lots:

- a) The design of all elevations exposed to public view shall reflect an equal attention to detail regarding materials, colours, and proportions;
- b) For lots located at the end of the terminating vista, houses should be orientated so that driveways are located to the outsides of intersections so that front porches and the habitable portions of the house rather than garages form the visual terminus of the vista; and
- c) Houses located at the end of the terminating vista should be set back further from the street line to provide greater opportunity for landscaping on private and public property so as to emphasize the visual importance of these locations.

Gateway Lots

Section 3.1.3

The gateway lots identified in the plan for Wallaceeton are located at the entry points into the community, and should set the tone for those entering the development. In the design and siting of houses, the following guidelines shall be followed:

- a) Houses should address the higher order road primarily, while also interfacing with the lower order road where applicable;
- b) wrap-around porches and secondary entrances should be provided where appropriate;
- c) garages and driveways should front on the lower order road where possible and applicable;
- d) Greater levels of detail, and a generally higher quality is expected for these lots.

Park Space and Green Space Lots

Section 3.1.4

Houses backing onto and flanking onto parks or green-space and walkways are also highly visible to public view and should be designed with this in mind:

- a) All rear or flanking elevations of houses readily visible to public view adjacent to parks, green-spaces, or public trails should be designed to the same level of detail as the front elevations of the same houses.

Window Street Lots

Section 3.1.5

Houses fronting onto window streets parallel Huron Road are especially visible to the Huron community even outside of Wallaceeton. With this in mind, it is important to have regard for how these houses address the public realm due to their enhanced visibility. As such, the following shall apply to the lots designated as Window Street Lots in the Priority Lotting Plan:

- a) Lots flanking Huron Road shall be considered Corner Lots and as such fall under the guidelines for Corner Lots as outlined in Section 3.1.1

- b) The lots on Reistwood Drive and Florencedale Crescent that do not flank Huron Road shall be treated as corner lots and are subject to the guidelines for Corner Lots as outlined in Section 3.1.1

Natural Heritage Lots

Section 3.1.6

Mature and significant trees are being retained within the Wallaceton community. The engineering design including grading and servicing has been developed to retain these trees, with Limits of Development identified on the approved engineering and Detailed Vegetation Plans. In order to ensure the trees are protected through the building phase, the location and size of these trees and the approved tree protection zone / Limit of Development will need to be taken into account when proposing plans for homes on the respective lots. As such, the following shall apply to the lots designated as Natural Heritage Lots in the Priority Lotting Plan:

- a) Building location drawings shall ensure that the placement of all buildings, structures, pools, sheds, decks, etc., as well as lot grading and drainage conform to the approved Detailed Vegetation Plan and approved measures for the protection of trees in accordance with the City's Tree Management Policy.
- b) A lot grading plan as well as a tree protection and enhancement plan demonstrating the foregoing will need to be submitted in support of the building permit submission.

A Tree Maintenance Report as required by Section 3.3.1.7 of the City's *Tree Management Policy* will also be required to be submitted and approved prior to the issuance of the building permits for these lots.

Architectural Styles

Section 3.2

Within the City of Kitchener and the surrounding Waterloo Region, there is a rich tradition of Ontario Heritage Architecture that can be drawn upon for inspiration in the design of houses. The use of recognizable architectural styles in the design of houses helps to provide a visually varied and pedestrian friendly streetscape. Within Wallaceton, it is intended that traditional architectural styles be used as a source of design inspiration.

Over time, each traditional architectural style has evolved its own recognizable set of characteristic proportions and details which make it easily recognizable. These characteristic proportions and details are also associated with particular combinations of materials and colours that often express regional geographic variations. When quoting a traditional architectural style, it is important that its characteristics be appropriately embodied in the design of the house.

Roofscapes

Section 3.3

When viewed collectively, the massing and design of individual house roofs provides an important opportunity to promote visual variety with the streetscape. The following guidelines are intended to encourage visual interest in both individual house designs and the collective roofscape of the community:

- a) A variety of roof configurations, with ridges parallel or perpendicular to the street, is desirable;
- b) Roof designs are encouraged, where stylistically appropriate, to include accent gables and dormers;
- c) Roof materials should be appropriate in colour, pattern and texture to the design and architectural style of the house;
- d) Roof vents should be coloured to match roofing material. Plumbing and heating vents should be located away from public view where possible;
- e) The design and location of skylights should not visually detract from the appearance of the roof when viewed from the street; and
- f) The junction between roof and wall is a visually important detail. An appropriate dimension should be provided above window heads to allow for a frieze board of appropriate proportions on all elevations exposed to public view.

Windows as Design Elements

Section 3.4

The design and placement of windows adds greatly to the visual impression of the house. From the exterior, windows are conventionally a visual symbol of habitable space and offer comfort and

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- b) A lot grading plan as well as a tree protection and enhancement plan demonstrating the foregoing will need to be submitted in support of the building permit submission.

A Tree Maintenance Report as required by Section 3.3.1.7 of the City's *Tree Management Policy* will also be required to be submitted and approved prior to the issuance of the building permits for these lots.

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Over time, each traditional architectural style has evolved its own recognizable set of characteristic proportions and details which make it easily recognizable. These characteristic proportions and details are also associated with particular combinations of materials and colours that often express regional geographic variations. When quoting a traditional architectural style, it is important that its characteristics be appropriately embodied in the design of the house.

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- c) Roof materials should be appropriate in colour, pattern and texture to the design and architectural style of the house;
- d) Roof vents should be coloured to match roofing material. Plumbing and heating vents should be located away from public view where possible;
- e) The design and location of skylights should not visually detract from the appearance of the roof when viewed from the street; and
- f) The junction between roof and wall is a visually important detail. An appropriate dimension should be provided above window heads to allow for a frieze board of appropriate proportions on all elevations exposed to public view.

Windows as Design Elements

Section 3.4

The design and placement of windows adds greatly to the visual impression of the house. From the exterior, windows are conventionally a visual symbol of habitable space and offer comfort and

reassurance to both occupants and passers by. As a design element, the scale, proportion and placement of windows and their articulation provides the designer with opportunities to explore the design potential offered by each of the traditional architecture styles that have been identified as appropriate for the community.

- a) The articulation of lintels at window heads and window sills is encouraged on elevations that are exposed to public view. The articulation of these design elements should be consistent with the architectural style of the house;
- b) Additionally, windows that are exposed to public view are encouraged to be an appropriate quality, ideally casement style, single or double hung;
- c) The location, proportions and scale of windows should be appropriate to the design and style of the house;
- d) Where window shutters are included in the design of elevations, they shall be of a dimension visually appropriate to the covering of the window; and
- e) In the design of front elevations or visible flanking elevations, such as on a corner lot, additional consideration should be given to the scale and location of windows to support an eyes-on-the-street approach to the design.

Materials and Colours

Section 3.5

The proposed colour scheme sample board for a house must include the colours of all the visible exterior elements of the house. The colour scheme must be appropriate to the house's architectural style and the qualities of its exterior materials, while at the same time remaining complimentary to the colour schemes of its immediate neighbours. To this end, regard shall be shown to the following guidelines:

- a) The selection of wall cladding materials should be appropriate to the specific architectural style of the house. Appropriate cladding materials may include brick, stucco, cultured stone and frame style siding;
- b) Elevations should be designed to collectively provide a varied visual experience along streetscapes while remaining compatible in quality and level of detail;
- c) In general, the use of materials should be consistent on all elevations. Changes in materials should occur at natural locations such as at gable ends and not at building corners;
- d) Where appropriate, traditional masonry detailing may be used, including:
 - a. foundation and belt coursing
 - b. stone or precast lintels and keys at doors and windows;
- e) Traditional paint colours appropriate to the specific architectural style of the house should be used. Not all colour schemes are appropriate to all architectural styles; and
- f) In general, all eaves troughs, fascias, soffits, and frieze boards should be of a consistent colour on each individual house.

Porches and Entry Elements

Section 3.6

Traditionally, the main entrance of a house is considered to be the principal focal point of the main elevation. Entry areas should appear welcoming, safe, and friendly to the resident, visitor, and passerby, contributing to the visual and spatial qualities of the streetscape. Although not consistent with all traditional architectural styles, the front porch or veranda is a universal symbol and marker for the main entrance to the house. The traditional front porch is a principal element in the development of a strong social connection between the life of the residents and the collective life of the streetscape. A successful front porch should have the following characteristics:

- a) Front porches and verandas are encouraged to be included in the design of all houses where appropriate to the specific architectural style of the house;
- b) Front porches shall be of a useable dimension, allowing for the placement of appropriate outdoor furniture and adequate circulation;
- c) Where appropriate, such fenestration as side lights flanking the front door is encouraged;
- d) The dimensions of columns used for the support of porch roofs shall be visually appropriate to the scale, dimension and style of the porch;
- e) Attention shall be paid to the visible junction of the porch roof to the wall of the house and its relationship to the adjacent window sills on the second floor, where appropriate; and
- f) Porch railings shall have a top and bottom railing, and pickets of a visually appropriate dimension.

The Architectural Integration of Garages

Section 3.7

As with the design of any of the principal architectural elements of houses, the design of attached garages will have a significant impact on both the design of the individual house, and on the collective impression of the Community. To that effect, the following guidelines shall apply:

- a) The massing of the habitable portions of the house and the entry elements shall be the visually dominant elements of the house;
- b) The massing of attached garages shall be architecturally integrated into the massing of the house to reduce its negative visual impact on the appearance of the house;
- c) Garages shall not project closer to the street line than the front porch;
- d) Garage door shall include glazing and be of a design that is appropriate to the design of the individual houses and not be blank door panels; and
- e) Where double garages are provided, they are encouraged to be designed utilizing two separated garage door panels where possible.

Utilities and Mechanical Equipment

Section 3.8

In the natural course of events, the exterior of every house must accommodate the presence of vents and meters. To avoid unnecessary visual clutter, the guidelines are as follows:

- a) Vents for such appliances as dryers, furnaces, fireplaces, and hot water heaters shall not be located on the front elevation;
- b) Appliances such as ground-mounted air conditioners shall be located and screened with landscaping from exposure to public view; and
- c) Hydro meters and gas meters are encouraged not to be located on front elevations, but where this is not possible, they shall be architecturally integrated into the design of the elevation and screened with landscaping as required. The location and visual solution for these details shall be indicated at the design concept stage. The location and treatment of these utilities shall meet all requirements of utility providers.

Fencing

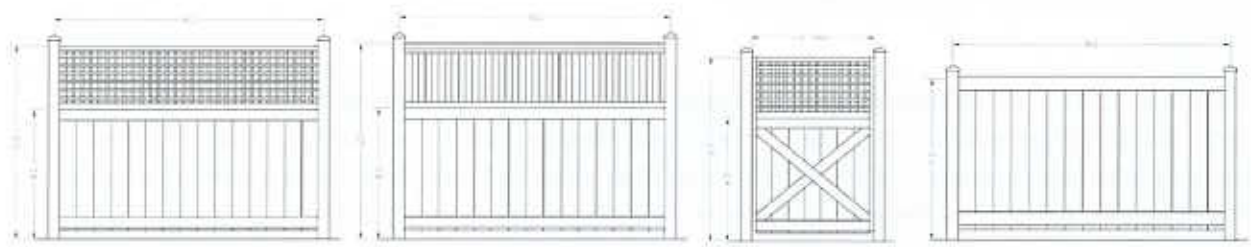
Section 3.9

The Streetscape Master Plan identifies the locations and types of fences in Wallaceston.

Where wood fencing is erected by builders or home owners, the following guidelines shall apply:

- a) All erected fencing is required to be constructed using cedar or pressure treated pine No. 1 construction grade materials;
- b) As a requisite, pressure treated pine fences shall be stained with one of the following Para TimberCare Solid Stains:
 - Whispering Willow: SS39-1
 - Beige Grey: SS5-1
 - Taupe: SS9-1;
- c) Fences constructed of cedar shall be allowed to age naturally or be stained with one of the stains approved above; and
- d) As a minimum building standard, the following will also be required for fence construction:
 - Post foundations must be a minimum of 1.2m (4') deep and set in place with concrete or as outlined within the City of Kitchener Department of Community Services Post Detail;
 - All hardware used in the construction of the fence shall be galvanized;
 - Gates constructed in the run of the fence shall match the style of the fencing option and be a maximum of 1.2m (4') in width; and
 - Steps in fences due to changes in grade shall be minimum 15cm (6").

Preferred Fence Designs



Privately Administered Design Control

Section 4

The first step in design implementation is design control. This process, referred to as design control, is not about control through restriction but about control through review, discussion, organization, and supervision. The design guidelines now become the basis for the review and discussion of building designs and site planning issues. The guidelines provide the benchmark for the iterative process of design and approval. Design control allows the design control consultant to keep track of the collective design of the community as it develops over time.

Participants in this design control process should always bear in mind that compliance to these guidelines is not a substitute for the approval of any municipal authority having jurisdiction in the municipal building approval process.

For this process to work effectively, the builders (or purchasers in the case of commercial properties) must be made aware of its existence and role before they start their individual design processes. The design control process could be summarized as follows:

Step One – Project Introduction

Section 4.1

The design control consultant holds an initial orientation meeting with the builders and their designers to review the community architectural design theme, the design guidelines, the review process, and time frames for approvals. The developer and his consultants will prepare and provide to the builder an information package that will include, where applicable:

- Zoning By Law
- Registered Plan
- Community Urban Design Guidelines
- Engineering Grading and Servicing Drawings (Contact Subdivision Engineer)
- Landscape Concept Plans for Various Community Edges, Parks, and Streetscapes
- Engineering Agreement
- Electrical Distribution and Street Lighting Plan
- Noise Report (if applicable)
- Deed Restrictions

Step Two – Submission of Preliminary Design

Section 4.2

After the project introduction meeting, the builder's designers start their work and provide the owner, or designated design control consultant, with preliminary building elevations as well as with typical floor plans for each building model. The floor plans are not to be reviewed but are submitted to assist the owner, or designated design control consultant in interpreting the building elevations (those elevations that are visible to the public).

In order to achieve the goal of having attractive and visually interesting streetscapes, it is important to be able to review the design of a proposed building elevation (in the case of a house) within the context of its proposed neighbours. Therefore, a builder should attempt to submit preliminary designs for all house models as one package. This is not always possible, but should be requested and acknowledged.

Step Three – Preliminary Approval

Section 4.3

The design control consultant reviews the designs submitted and consults with his client and other consultants as appropriate. The owner, or designated design control consultant, prepares comments on the submissions and meets with the builders and their designers to review the comments and to discuss modifications that may be requested. After participating in the review of their design submissions, the builder's designers prepare and modify their work as discussed and prepare to resubmit the designs.

For preliminary approval of house designs the builder is required to submit the following:

- Floor Plans
- Exterior Elevations and Details
- Special Units for Corner Lots
- Treatment of Porches
- Exterior Materials and Colours (should include a Master Colour Schedule and Sample Boards)
- Preliminary Master Sheet (showing front elevations of all models arranged together)

Step Four – Final Design Approval

Section 4.4

The builder's designers resubmit their work for final approval. The designs are approved if all parties are in agreement, and final design approval is given by the owner or designated design control consultant.

For final approval of house designs, the builder is required to submit the following:

- Final Working Drawings
- Floor Plans
- Exterior Elevations
- Master Sheet of Models and Elevations

Step Five – Siting Approval

Section 4.5

Since the collective impact of building design is important to the development of safe, attractive and visually interesting streetscapes, the owner, or designated design control consultant must be advised of the proposed location of each collection of building types and styles on the subdivision site. For example – the design control consultant (or owner) shall be advised of and must understand the proposed locations for two or three storey townhomes, stacked townhomes with rear lanes and single-family home product to, in particular, assess appropriate transitions. The consultant does this to make sure that compatible building designs are sited together and to avoid unplanned repetition as well as unattractive building transitions. For preliminary approval of house sitings, the builder is required to submit final site plan drawings (at 1:250) that illustrate the following:

- Proposed siting, including setbacks, driveways, etc.
- Locations of corner lot fencing, acoustic fencing, perimeter piers, walls, columns and decorative fencing as required.
- Indicate lot numbers, model type, elevation number, and colour package.
- Landscape Plans (where applicable)

After receiving final approval and the appropriate drawings have been submitted and marked as approved by the design control consultant for specific areas within the subdivision, the builder may submit for a building permit for the specifically approved house on the specified lot area without further approvals by the design control consultant, however the owner, or designated design control consultant, shall be advised of each building permit being applied for along with the model and colour package associated with each permit application for tracking purposes. Proposed Grading Plans are to be submitted to the Subdivision Engineer for review and approval.

Other Builder Responsibilities

Section 4.6

Preliminary approval of plans, elevations, siting, streetscapes and colours are required prior to marketing or sales of houses.

The Builders must build, and the Builder's real estate representatives must market, in compliance with approval and guideline requirements.

All design elements must be reviewed and approved by the Urban Design Consultant and the Subdivision Engineer (where noted) prior to being submitted to the Municipality for Site Plan Approval and/or Building Permit.

Changes to approved designs or sitings must be resubmitted.

Wallaceton Design Control Consultant

Robert J. Anderson OAA B.Arch., B.E.S.

President

Anderson Wellsman Architects Incorporated

1090 Don Mills Road, Suite 612

Toronto Ontario M3C 3R6

t: 416-391-3699 x 119

f: 416-510-2629

rob@andersonwellsmanarchitects.ca